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BERSON HOUSE · MORNINGSIDE



1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Whenever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.

Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace.

Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to 1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos
Other in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required.

The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with 'Code of Practice: Managing Electrical Risks at the Workplace' AS/NZ 3012. All work using Plant should be carried out in accordance with 'Code of Practice: Managing Risks of Plant at the Workplace'. All work should be carried out in accordance with 'Code of Practice: Managing Risks and Preventing Hearing Loss at Work at the Workplace'. Due to the history of serious incidents it is recommended that particular care can be exercised when undertaking work involving Steel Construction and Concrete Placement. All of the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNERS, BUILDERS, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENANCE WORKERS, DEMOLISHERS.



INDICATIVE IMAGES ONLY

monsterideas architects

DRAWINGS R0101 - GENERAL ARRANGEMENT

'you get the idea'

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NOTES

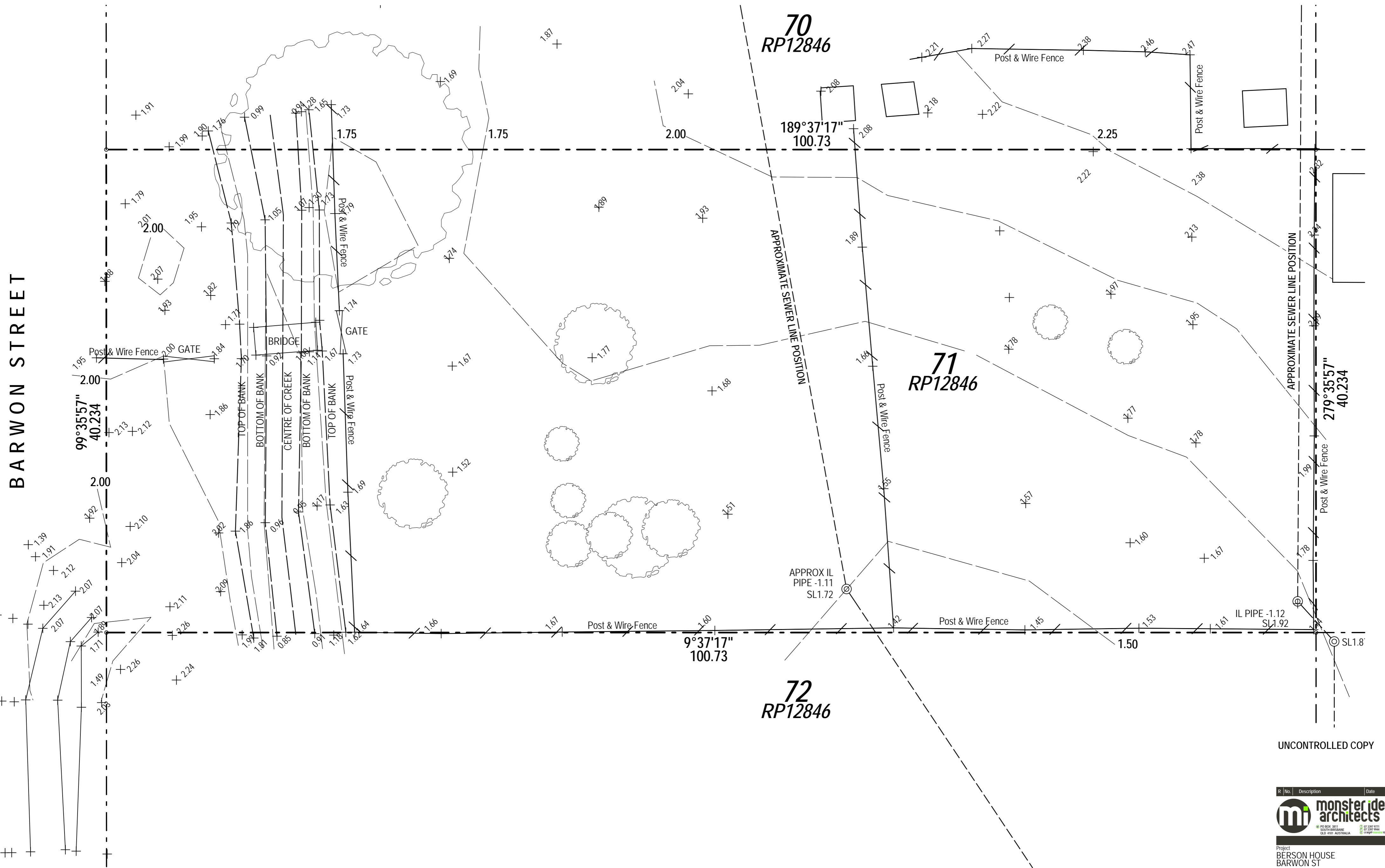
This package is a reduced construction set as a result of the owners request and was produced primarily for building certification. It is expected and understood that detail resolution will be undertaken by the builder and the owner on many matters during construction.

Given the reduced detailed documentation and coordination of this project, it is required that the builder provide opportunity for Monsterideas Architects to respond to any discrepancy or decision that may involve a variation to the documents prior to construction.

If the status of the drawing has been signed off 'FOR CONSTRUCTION' it may be subject to change, alteration or amendment at the discretion of Monsterideas Architects. Construction is to comply with standard building by-laws, The Building Code of Australia and relevant Australian and International Standards.

Figured dimensions take precedence over scaled dimensions. Verify on site dimensions prior to fabrication or erection.

Provision of proprietary items and systems is to be in accordance with the manufacturer's written specifications and recommendations.



BARWON STREET

70
RP12846

71
RP12846

72
RP12846

99°35'57"
40.234

189°37'17"
100.73

9°37'17"
100.73

279°35'57"
40.234

APPROX IL PIPE -1.11
SL1.72

IL PIPE -1.12
SL1.92

SITE LEVELS
1:200

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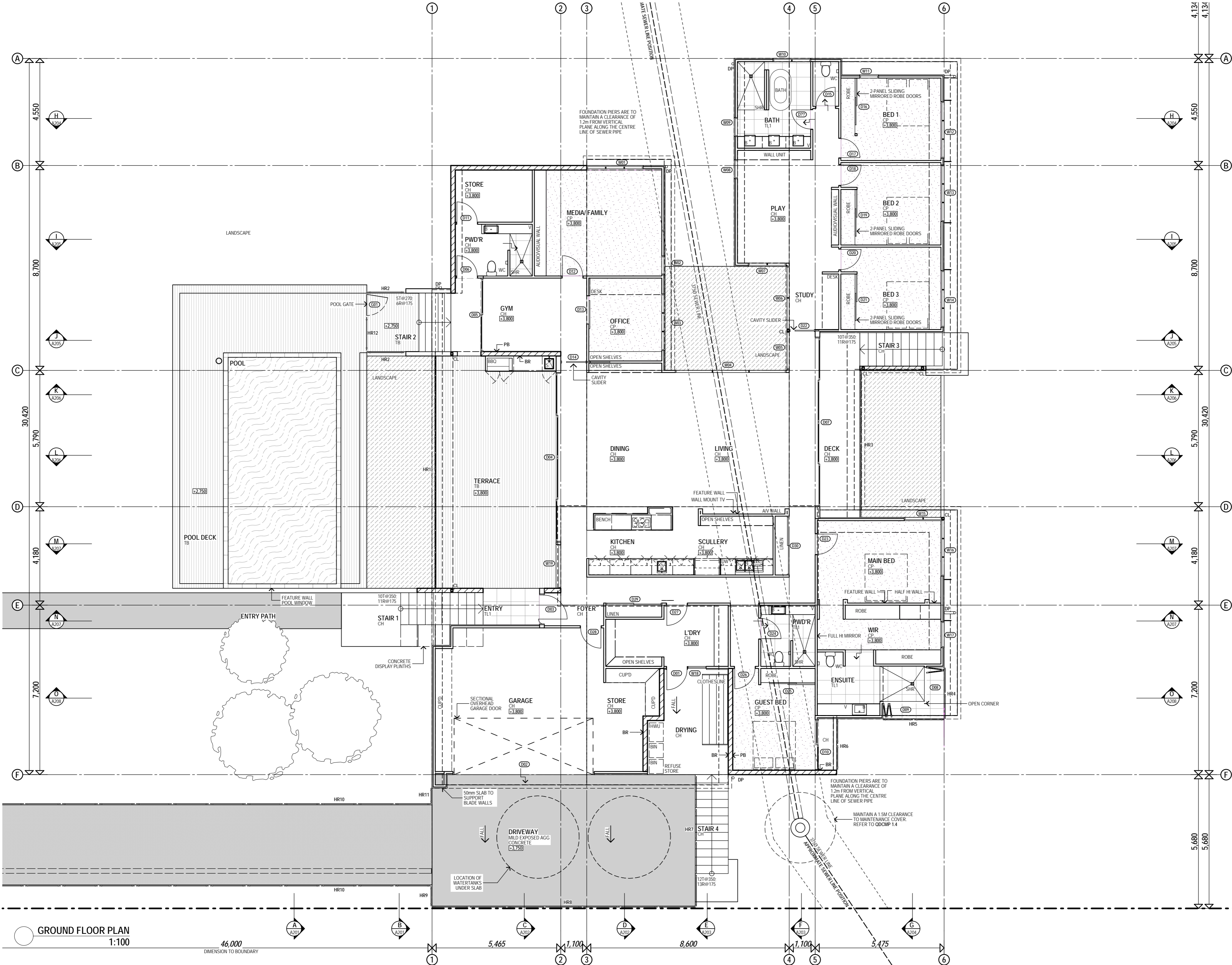
monster ideas architects
10/100 BUCKLE STREET SOUTH BRISBANE QLD 4108 AUSTRALIA
 61 7 3291 9911 61 7 3291 9944
 www.monsterideas.com.au

Project
BERSON HOUSE
BARWON ST

Drawing
EXISTING SITE LEVELS

Drawn MM Approved CW
 Project Drawing Number Rtv Scale
 R0101 A002 1:200

WORKING DRAWINGS
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GENERAL NOTES

- NOTES**
- CONSTRUCTION IS TO COMPLY WITH THE STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA AND ANY RELEVANT AUSTRALIAN AND INTERNATIONAL STANDARDS.
 - CHECK DIMENSIONS ON SITE PRIOR TO FABRICATION OR ERECTION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - INSTALLATION AND FIXING OF PROPRIETARY ITEMS AND SYSTEMS IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND RECOMMENDATIONS.
 - READ THIS DRAWING IN CONJUNCTION WITH THE RELEVANT SUB-CONSULTANT DOCUMENTATION.
 - NEW WALL LININGS TO BE AS FOLLOWS: GENERALLY PLASTERBOARD; FC VILBOARD TO WET AREAS & STOREROOMS; MOISTURE RESISTANT PLASTERBOARD TO KITCHEN; TIMBER VJ WHERE NOTED.
 - HEIGHTS OF RETAINING WALLS AND BOUNDARY WALLS ARE TO BE VERIFIED WITH OWNER ON SITE PRIOR TO CONSTRUCTION.
 - PROVIDE CONDUITS (90DA PVC PIPE) UNDER SLABS TO ISOLATED GARDEN BEDS FOR LIGHTING AND IRRIGATION SERVICES.
- FLOOR FINISH CODES**
- CP CARPET
 - EP EPOXY PAINT FINISH
 - TB1 NEW INTERNAL HWD TIMBER STRIPS
 - TB2 REFURBISH EXISTING HWD TIMBER STRIPS
 - TB3 NEW INTERNAL HWD TIMBER STRIPS
 - TB4 NEW EXTERNAL HWD TIMBER DECKING BOARDS
 - TL1 INTERNAL FLOOR TILE 600 x 600
 - TL2 EXTERNAL FLOOR TILE 600 x 600
 - TL3 INTERNAL WET AREA FLOOR TILE 400 x 400
- LEGEND**
- AC AIR CONDITIONING UNIT
 - B BASIN
 - CL COLUMN
 - DP DOWNPIPE
 - DPE DOWNPIPE EXISTING
 - DRY CLOTHES DRYER
 - DW DISHWASHER
 - EX EXISTING DOOR
 - F REFRIGERATOR LOCATION
 - FW FLOOR WASTE
 - HP HOT PLATES
 - HR1 HANDRAIL TYPE 1
 - HR2 HANDRAIL TYPE 2
 - HR3 HANDRAIL TYPE 3
 - HWD HARDWOOD
 - L LEDGE
 - P PANTRY
 - RW BLOCK RETAINING WALL
 - S SINK
 - SHR SHOWER
 - T LAUNDRY TUBS
 - TOW TOP OF WALL LEVEL
 - V VANITY BENCH
 - WC TOILET SUITE
 - WM WASHING MACHINE
- 29.635 PROPOSED FINISH LEVEL FROM AHD
 FALL FALL TO SURFACE FINISH
 200 SETDOWN IN FLOOR SURFACE
 (D19) WINDOW & DOOR MARKER
 LAWN
 SOFT LANDSCAPING

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R/No.	Description	Date	App'd
A 01	ISSUED FOR INFORMATION	05-06-14	CAW



Project
BERSON HOUSE
BARWON ST
 Drawing
FLOOR PLAN

Drawn	Approved
MM	CW

Project Number: R0101 A004 A
 Drawing Number: A
 Scale: 1:100

WORKING DRAWINGS
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GROUND FLOOR PLAN
 1:100

46,000
 DIMENSION TO BOUNDARY

GENERAL NOTES

NOTES
 VERIFY DIMENSIONS ON SITE PRIOR TO FABRICATION OR INSTALLATION.
 DRAWINGS TO BE READ IN CONJUNCTION WITH CONSULTANT INFORMATION
 CEILINGS TO BE 10mm FLUSH PLASTERBOARD UNLESS NOTED OTHERWISE. FIX PLASTERBOARD TO CEILING BATTENS. WHEN LINING TO UNDERSIDE OF FLOOR OR CEILING STRUCTURE
 CORNICES TO BE INSTALLED AS SPECIFIED
 - PLASTERBOARD CORNICE AS SHOWN
 - SQUARE SET PLASTERBOARD BULKHEADS AND
 - SHADOWLINE CORNICE TO WET AREAS, BEDROOMS AND GENERAL LIVING AREAS
 MOISTURE RESISTANT PLASTERBOARD TO BE INSTALLED TO WET AREAS.
 EXTERNAL SOFFIT LININGS ARE 6mm VILLABOARD WITH FLUSH SET JOINTS TO NEW EXTENSION
 ALLOW FOR TWO FLUSH FINISH ACCESS PANELS TO CEILING LAYOUT AS DICTATED BY THE SERVICES
 REFER TO ELECTRICAL LAYOUT PLANS FOR POSITION OF LIGHTING AND CEILING ELECTRICAL FITTINGS

- LEGEND**
- PAINTED 6mm FC SHEETING TO SOFFITS
 - HWD TIMBER CLEAR FINISH
 - MARKER INDICATING FACE OF BULKHEAD. NOTE TO HIGHER SIDE
 - SELECTED PLASTERBOARD CORNICE
 - MARKER INDICATING MIN CEILING HEIGHT ABOVE FINISHED FLOOR LEVEL
 - INDICATES DIRECTIONAL FALL OF RAKING CEILING/SOFFIT
 - CEILING ACCESS PANEL NUMBER INDICATES SIZE
 - PAINTED FLUSH-SET 6mm FC
 - PAINTED FLUSH-SET PLASTERBOARD
 - PAINTED FLUSH-SET MOISTURE RESISTANT PLASTERBOARD



RCP GROUND FLOOR
1:100

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R. No.	Description	Date	App'd

monster ideas architects
 10/100 BARRIE ST. SOUTH BRISBANE QLD 4101 AUSTRALIA
 07 3291 9111 07 3291 9114
 info@monsterideas.com.au

Project
BERSON HOUSE
 BARWON ST
 Drawing
RCP - GROUND

Drawn	Project Number	Approved	Scale
MM	R0101	CW	1:100

WORKING DRAWINGS
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GENERAL NOTES

NOTES

CONSTRUCTION IS TO COMPLY WITH THE STANDARD BUILDING BY LAWS, THE BUILDING CODE OF AUSTRALIA AND ANY RELEVANT AUSTRALIAN AND INTERNATIONAL STANDARDS.

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INSTALLATION AND FIXING OF PROPRIETARY ITEMS AND SYSTEMS IS TO BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND RECOMMENDATIONS.

READ THIS DRAWING IN CONJUNCTION WITH THE RELEVANT SUB-CONSULTANT DOCUMENTATION.

NEW WALL LININGS TO BE AS FOLLOWS
 GENERALLY PLASTERBOARD; FC VILLABOARD TO WET AREAS & STOREROOMS; MOISTURE RESISTANT PLASTERBOARD TO KITCHEN; TIMBER VJ WHERE NOTED.

HEIGHTS OF RETAINING WALLS AND BOUNDARY WALLS ARE TO BE VERIFIED WITH OWNER ON SITE PRIOR TO CONSTRUCTION.

PROVIDE CONDUITS (W/DIA PVC PIPE) UNDER SLABS TO ISOLATED GARDEN BEDS FOR LIGHTING AND IRRIGATION SERVICES.



GROUND SET OUT PLAN
1:100

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R. No.	Description	Date	App'd

monster ideas architects
 10/100 BUCKLE STREET, SOUTH BRISBANE QLD 4101, AUSTRALIA
 P: 07 2391 9111 F: 07 2391 9144
 www.monsterideas.com.au

Project
BERSON HOUSE
BARWON ST

Drawing
SETOUT PLAN - GROUND

Drawn	Project Number	Drawing Number	Approved	Scale
MM	R0101	A007	CW	1:100

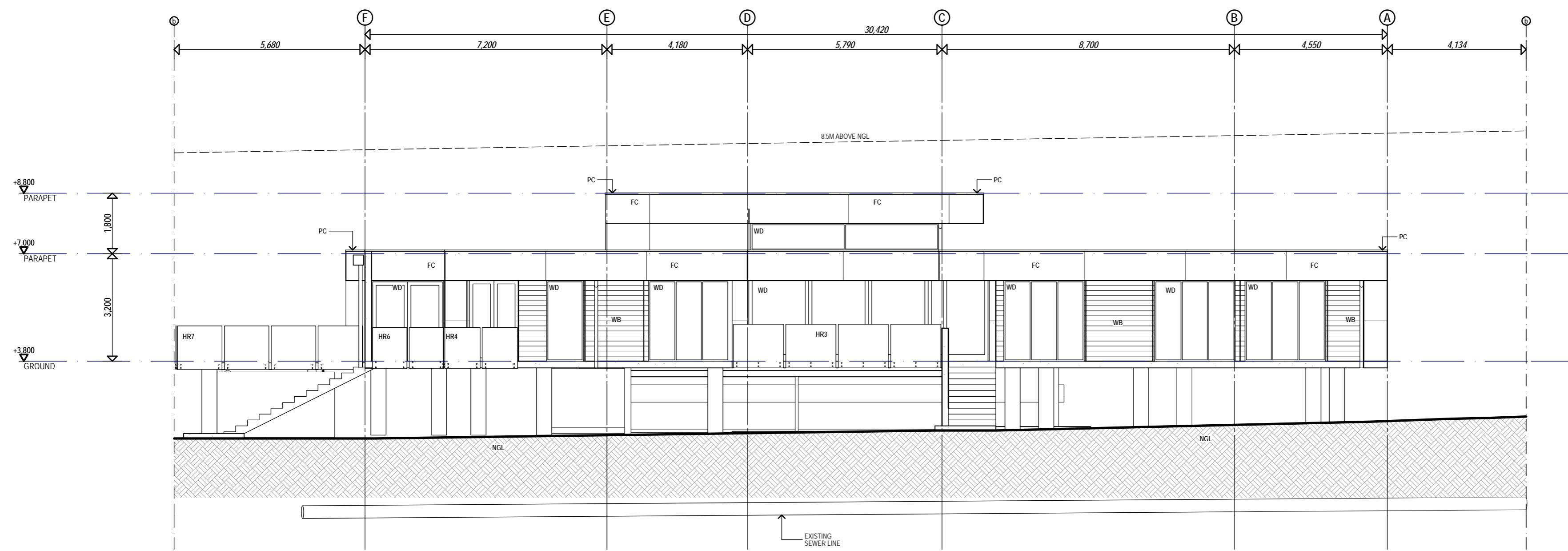
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GENERAL NOTES

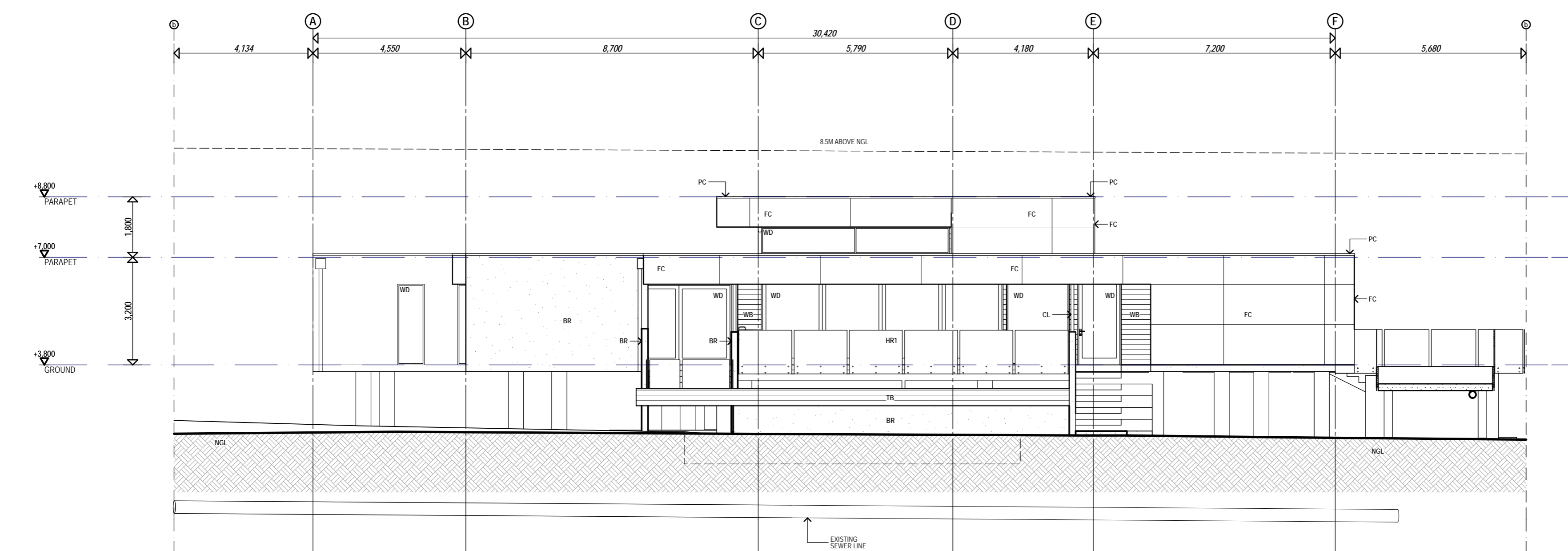
NOTES
 REFER STRUCTURAL ENGINEERING DRAWINGS FOR FOUNDATION, ROOF AND FLOOR STRUCTURE REQUIREMENTS
 REFER TO ELEVATED DOOR AND WINDOW SCHEDULE FOR FURTHER DETAIL
HEIGHT LINES
 8.5m above Natural Ground Contours (based on the BCC City Plan 2002 Bimap)
 8.5m above Existing Surface Contours (based on Detailed Survey Plan prepared by Kevin Holt Surveys)

LEGEND
 TOW TOP OF WALL
 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

CODES
 AF APRON FLASHING - COLORBOND
 BC BARGE CAPPING - COLORBOND
 BG BOX GUTTER
 BR MASONRY WORK - PAINTED RENDER
 BT BARGE - PAINTED TIMBER
 CL COLUMN
 DP DOWNPIPE
 FC FC SHEETING - CEMINTEL BARESTONE
 FT FASCIA - TIMBER
 GC GUTTER - COLORBOND
 HR1 FRAMELESS GLAZED BALUSTRADE
 HR2 CHAINWIRE FENCE
 MS CORRUGATED COLOURBOND METAL ROOF SHEETING
 PB PLASTERBOARD
 PC PARAPET CAPPING - COLORBOND
 RC RIDGE CAPPING
 TB TIMBER BOARD
 TL1 INTERNAL FLOOR TILE
 TL2 EXTERNAL FLOOR TILE
 TP INTERNAL WET AREA FLOOR TILE
 TP PAINTED TIMBER PALING FENCE
 WB HORIZONTAL STRIP BOARD CLADDING
 WD WINDOW/DOOR - POWDERCOAT ALUM.



NORTH ELEVATION
1:100



SOUTH ELEVATION
1:100

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R. No.	Description	Date	App'd

monster ideas architects
 40 PO BOX 887 SOUTH BRISBANE QLD 4108 AUSTRALIA
 07 3297 9111 07 3297 9144
 07 3297 9144 07 3297 9144

Project
BERSON HOUSE
 BARWON ST
 Drawing
NORTH & SOUTH ELEVATIONS

Drawn	Project Number	Drawing Number	Approved	Project Number	Drawing Number	Scale
MM	R0101	A101	CW	R0101	A101	1:100

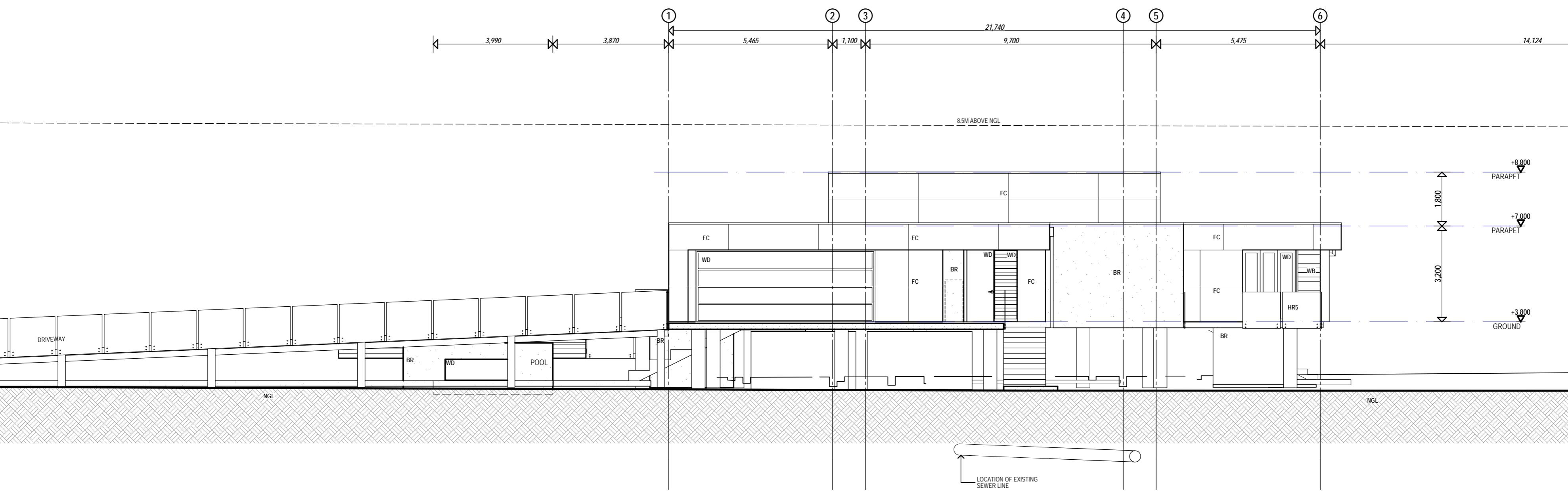
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GENERAL NOTES

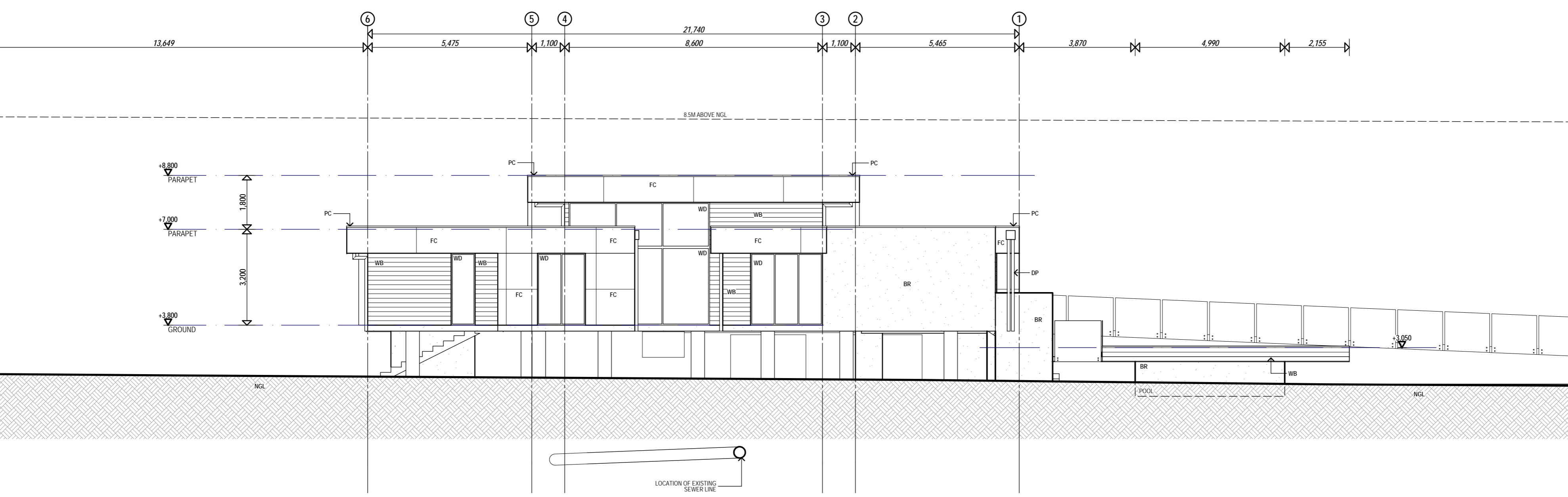
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 8.5m above Existing Surface Contours (based on Detailed Survey Plan prepared by Kevin Holt Surveys)

LEGEND
 TOW TOP OF WALL
 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

CODES
 AF APRON FLASHING - COLORBOND
 BC BARGE CAPPING - COLORBOND
 BG BOX GUTTER
 BR MASONRY WORK - PAINTED RENDER
 BT BARGE - PAINTED TIMBER
 CL COLUMN
 DP DOWNPIPE
 FC FC SHEETING - CEMINTEL BARESTONE
 FT FASCIA - TIMBER
 GC GUTTER - COLORBOND
 HR1 FRAMELESS GLAZED BALUSTRADE
 HR2 CHAINWIRE FENCE
 MS CORRUGATED COLOURBOND METAL ROOF SHEETING
 PB PLASTERBOARD
 PC PARAPET CAPPING - COLORBOND
 RC RIDGE CAPPING
 TB TIMBER BOARD
 TL1 INTERNAL FLOOR TILE
 TL2 EXTERNAL FLOOR TILE
 TL3 INTERNAL WET AREA FLOOR TILE
 TP PAINTED TIMBER PALING FENCE
 WB HORIZONTAL STRIP BOARD CLADDING
 WD WINDOWDOOR - POWDERCOAT ALUM.



WEST ELEVATION
1:100



EAST ELEVATION
1:100

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R. No.	Description	Date	App'd
			

Project
BERSON HOUSE
 BARWON ST

Drawing
EAST & WEST ELEVATIONS

Drawn	MM	Approved	CW
Project Number		Drawing Number	
		Rev	Scale

R0101 A102 1:100

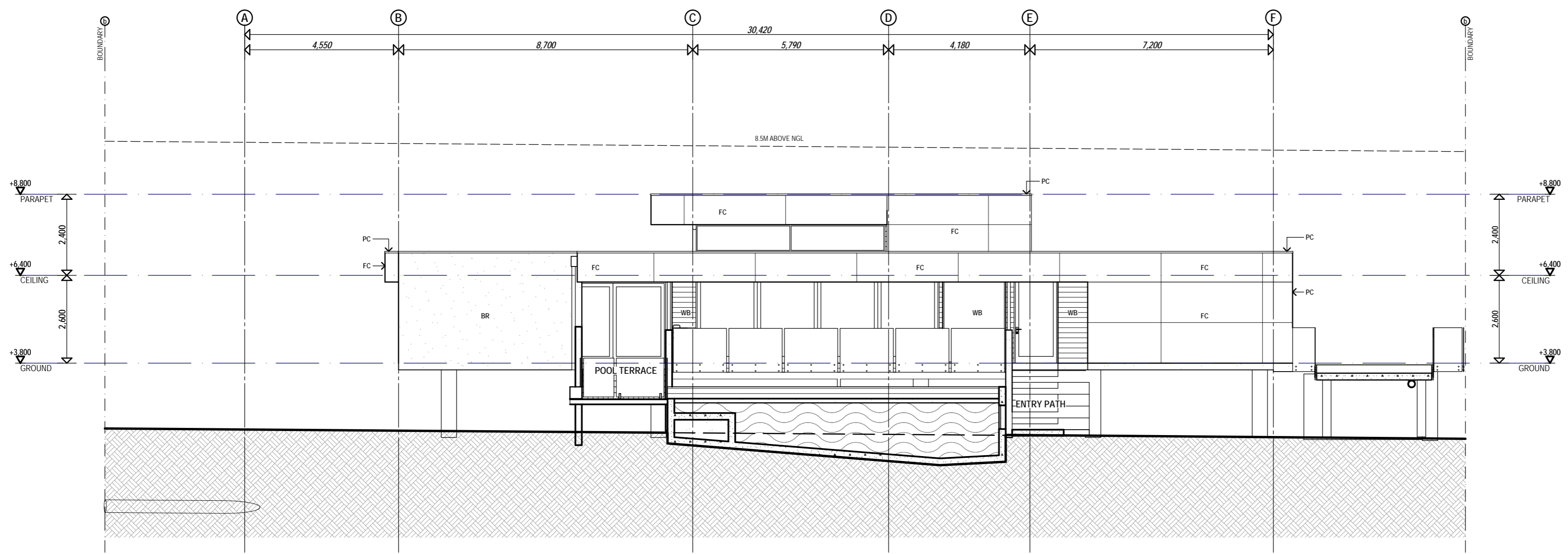
WORKING DRAWINGS

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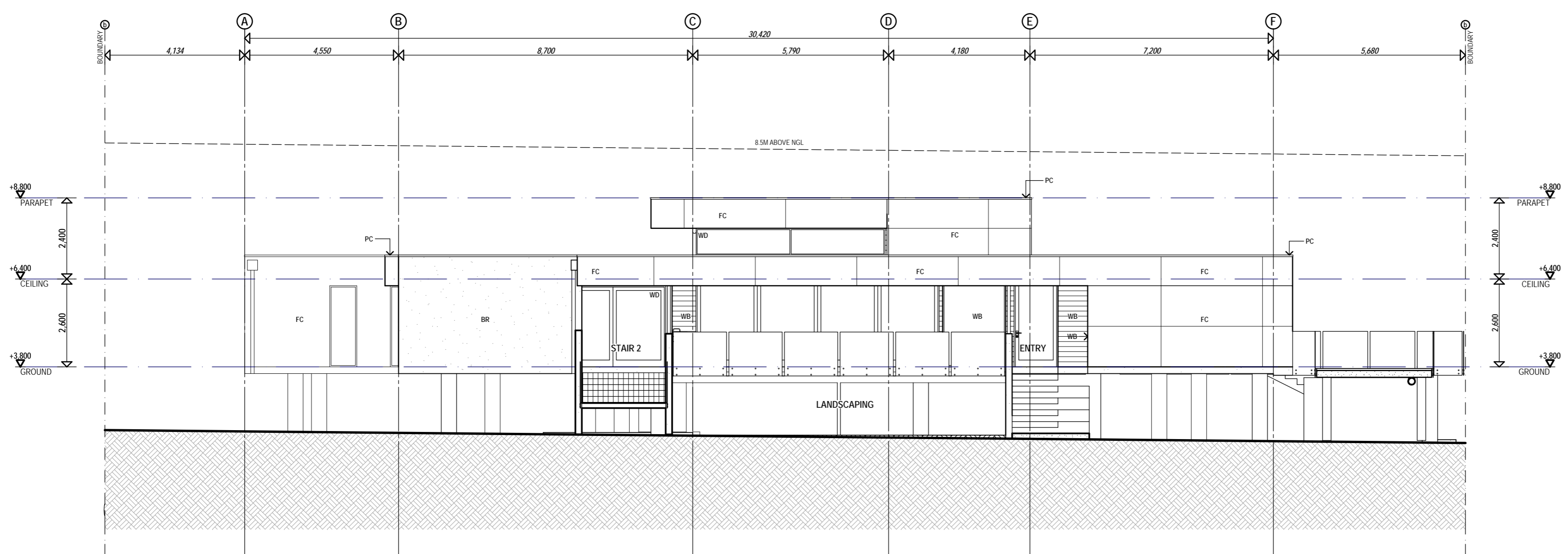
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 HEIGHT LINES
 8.5m above Natural Ground Contours (based on the BCC City Plan 2002 Bimap)
 8.5m above Existing Surface Contours (based on Detailed Survey Plan prepared by Kevin Holt Surveys)

LEGEND
 TOW TOP OF WALL
 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

- CODES
- AF APRON FLASHING - COLORBOND
 - BC BARGE CAPPING - COLORBOND
 - BG BOX GUTTER
 - BR MASONRY WORK - PAINTED RENDER
 - BT BARGE - PAINTED TIMBER
 - CL COLUMN
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 - RC RIDGE CAPPING
 - TB TIMBER BOARD
 - TL1 INTERNAL FLOOR TILE
 - TL2 EXTERNAL FLOOR TILE
 - TL3 INTERNAL WET AREA FLOOR TILE
 - TP PAINTED TIMBER PALING FENCE
 - WB HORIZONTAL STRIP BOARD CLADDING
 - WD WINDOWDOOR - POWDERCOAT ALUM.



A SECTION 1:100



B SECTION 1:100

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R. No.	Description	Date	App'd
			

Project: BERSON HOUSE BARWON ST
 Drawing: SECTION A & B

Drawn	Project Number	Drawing Number	Approved	Scale
MM	R0101	A201	CW	1:100

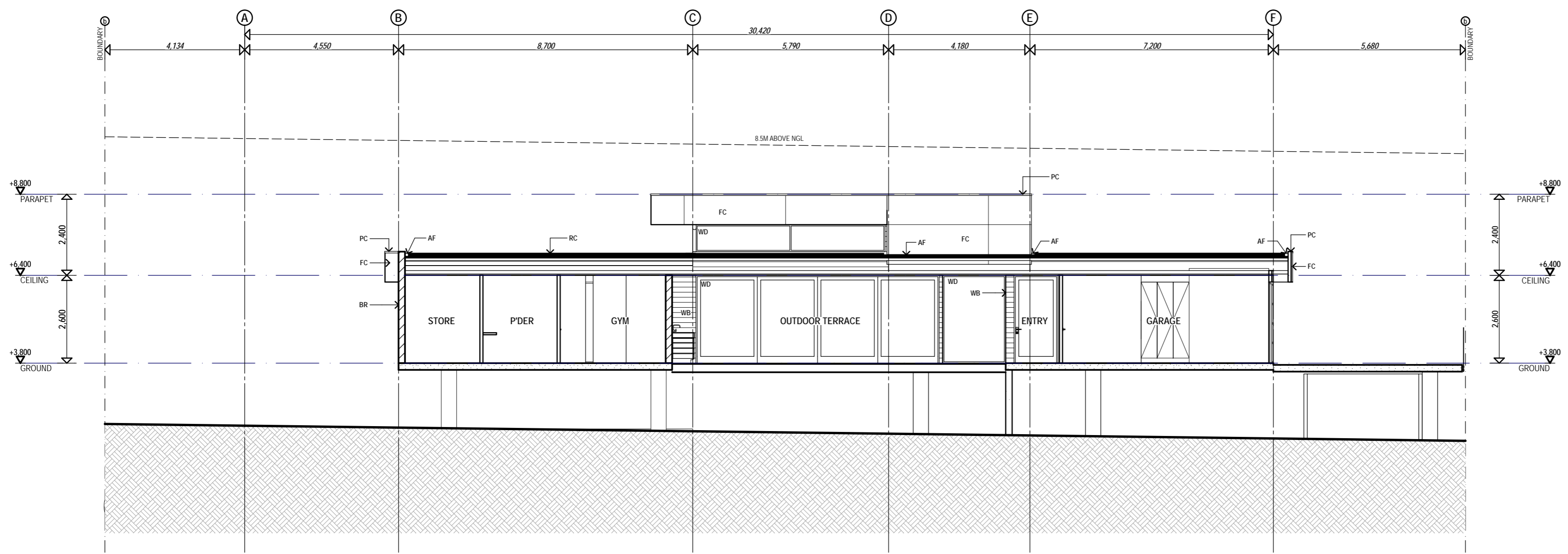
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GENERAL NOTES

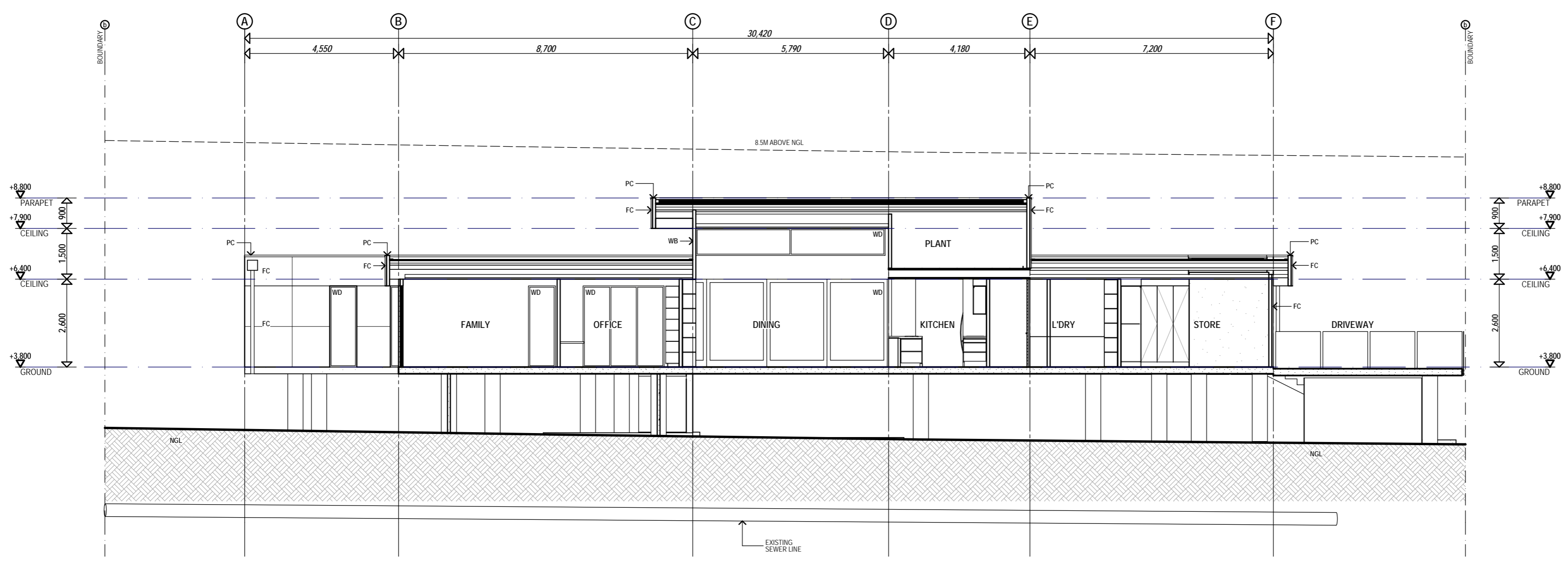
NOTES
 REFER STRUCTURAL ENGINEERING DRAWINGS FOR FOUNDATION, ROOF AND FLOOR STRUCTURE REQUIREMENTS
 REFER TO ELEVATED DOOR AND WINDOW SCHEDULE FOR FURTHER DETAIL
HEIGHT LINES
 8.5m above Natural Ground Contours (based on the BCC City Plan 2002 Bimap)
 8.5m above Existing Surface Contours (based on Detailed Survey Plan prepared by Kevin Holt Surveys)

LEGEND
 TOW TOP OF WALL
 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

CODES
 AF APRON FLASHING - COLORBOND
 BC BARGE CAPPING - COLORBOND
 BG BOX GUTTER
 BR MASONRY WORK - PAINTED RENDER
 BT BARGE - PAINTED TIMBER
 CL COLUMN
 DP DOWNPIPE
 FC FC SHEETING - CEMINTEL BARESTONE
 FT FASCIA - TIMBER
 GC GUTTER - COLORBOND
 HR1 FRAMELESS GLAZED BALUSTRADE
 HR2 CHAINWIRE FENCE
 MS CORRUGATED COLOURBOND METAL ROOF SHEETING
 PB PLASTERBOARD
 PC PARAPET CAPPING - COLORBOND
 RC RIDGE CAPPING
 TB TIMBER BOARD
 TL1 INTERNAL FLOOR TILE
 TL2 EXTERNAL FLOOR TILE
 TL3 INTERNAL WET AREA FLOOR TILE
 TP PAINTED TIMBER PALING FENCE
 WB HORIZONTAL STRIP BOARD CLADDING
 WD WINDOWDOOR - POWDERCOAT ALUM.



C SECTION 1:100



D SECTION 1:100

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R. No.	Description	Date	App'd
			

Project
BERSON HOUSE
 BARWON ST
 Drawing
 SECTION C & D

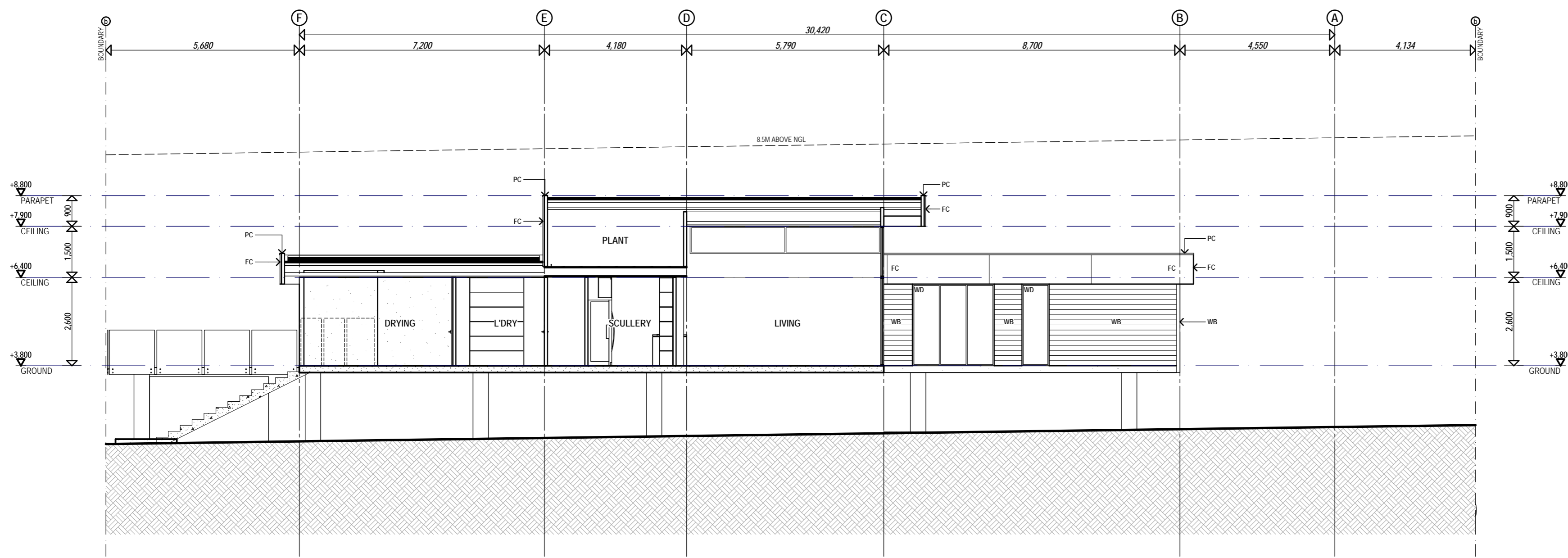
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MM	R0101	CW	1:100

WORKING DRAWINGS
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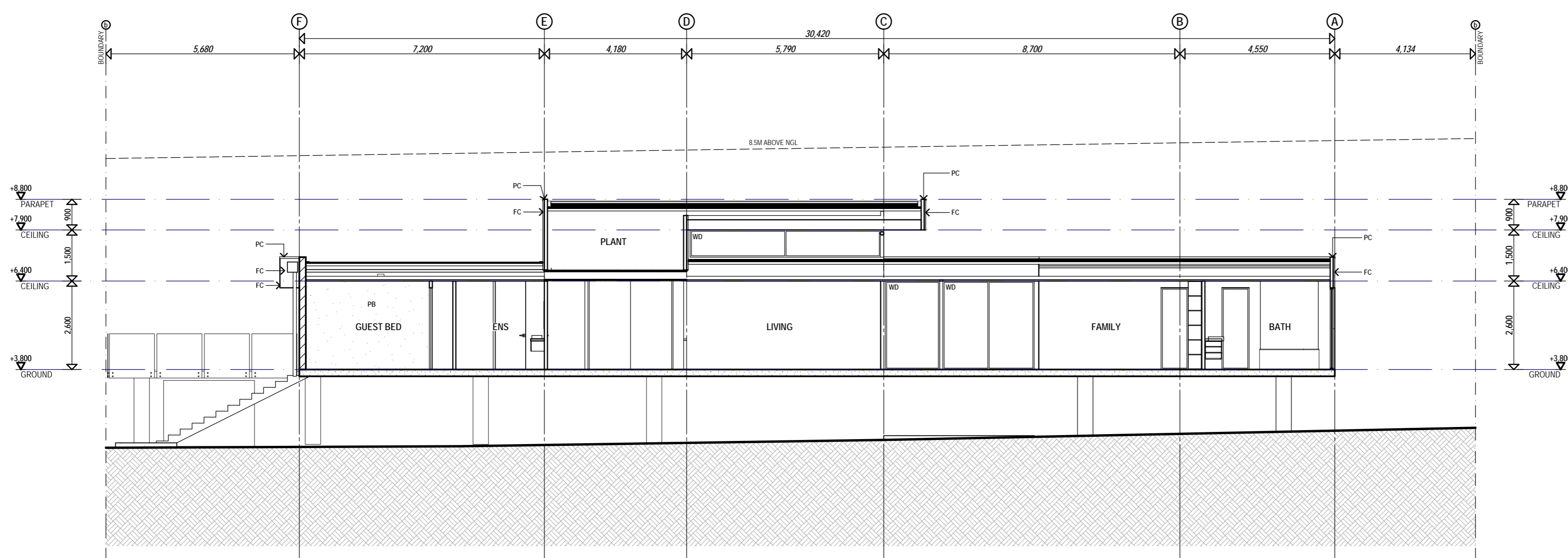
NOTES
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LEGEND
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 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

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 - TP PAINTED TIMBER PALING FENCE
 - WB HORIZONTAL STRIP BOARD CLADDING
 - WD WINDOWDOOR - POWDERCOAT ALUM.



E SECTION
1:100



F SECTION
1:100

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R. No.	Description	Date	App'd

monster ideas architects
 40 PO BOX 887 SOUTH BRISBANE QLD 4108 AUSTRALIA
 P 07 3397 9111 F 07 3397 9144
 www.monsterideas.com.au

Project
BERSON HOUSE
 BARWON ST

Drawing
 SECTION E & F

Drawn	Project Number	Drawing Number	Approved	Scale
MM	R0101	A203	CW	1:100

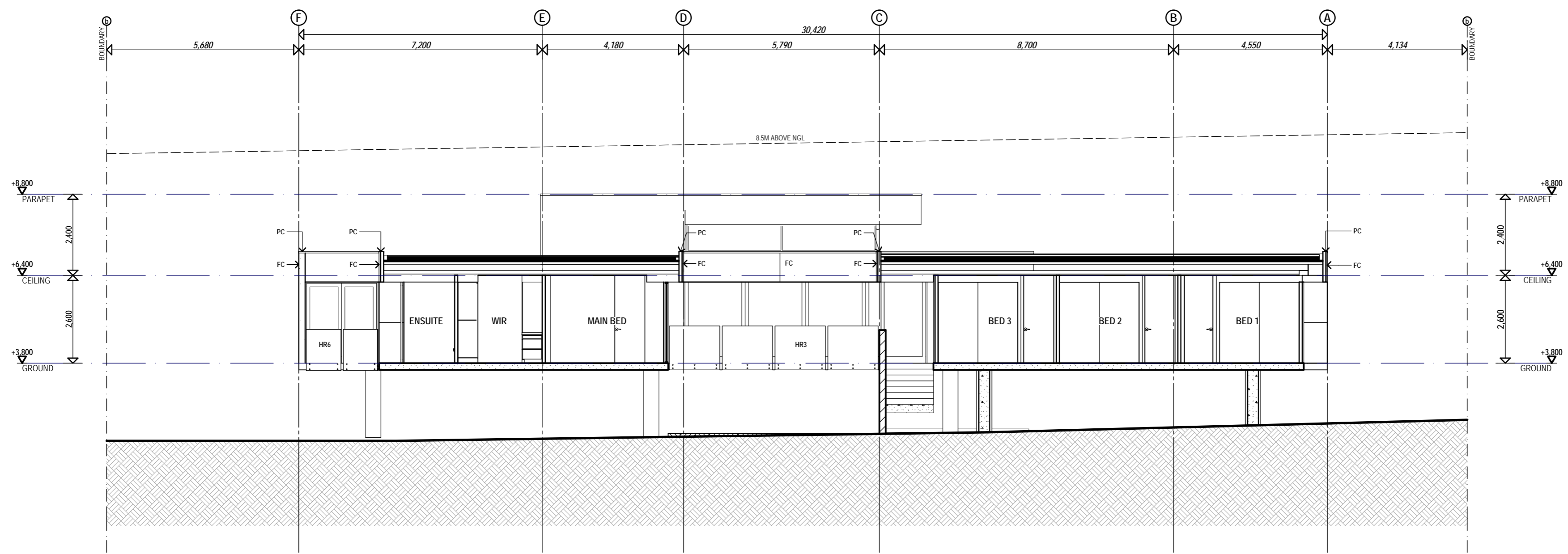
WORKING DRAWINGS
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NOTES
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 REFER TO ELEVATED DOOR AND WINDOW SCHEDULE FOR FURTHER DETAIL

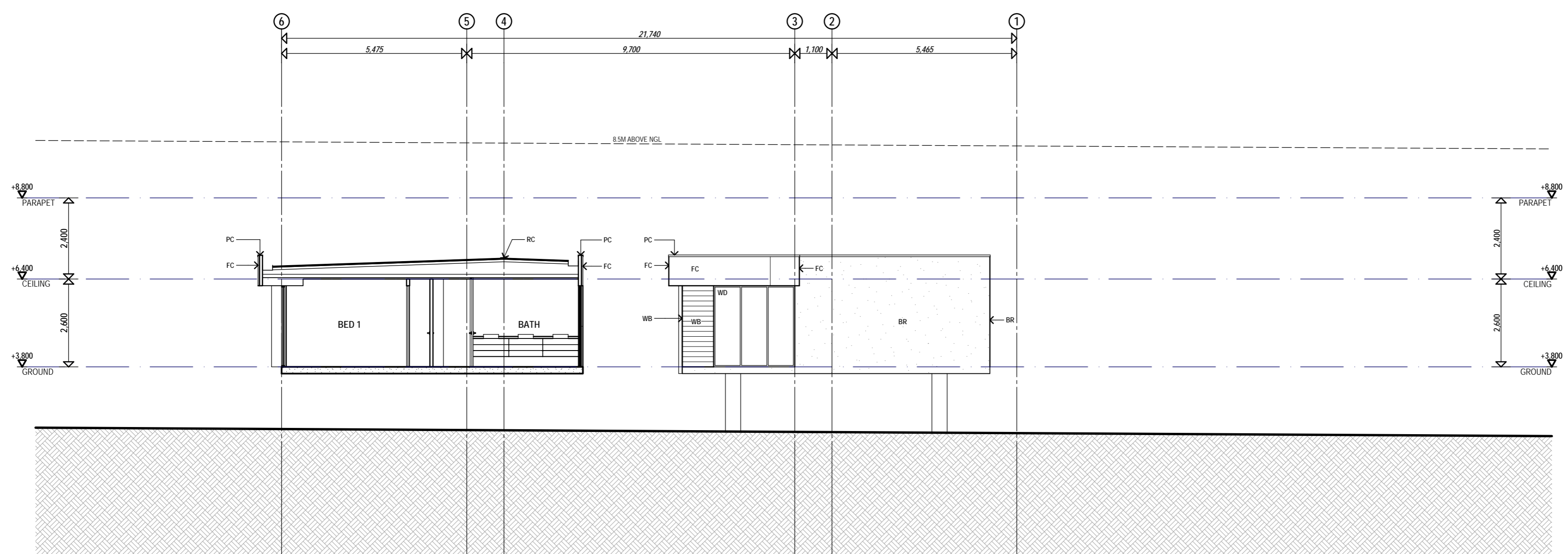
HEIGHT LINES
 8.5m above Natural Ground Contours (based on the BCC City Plan 2002 Bimap)
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LEGEND
 TOW TOP OF WALL
 EGL EXISTING GROUND LEVEL
 NGL NATURAL GROUND LEVEL

- CODES
- AF APRON FLASHING - COLORBOND
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 - WD WINDOWDOOR - POWDERCOAT ALUM.



G SECTION
 1:100



H SECTION
 1:100

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R. No.	Description	Date	App'd
			

Project
 BERSON HOUSE
 BARWON ST
 Drawing
 SECTION G & H

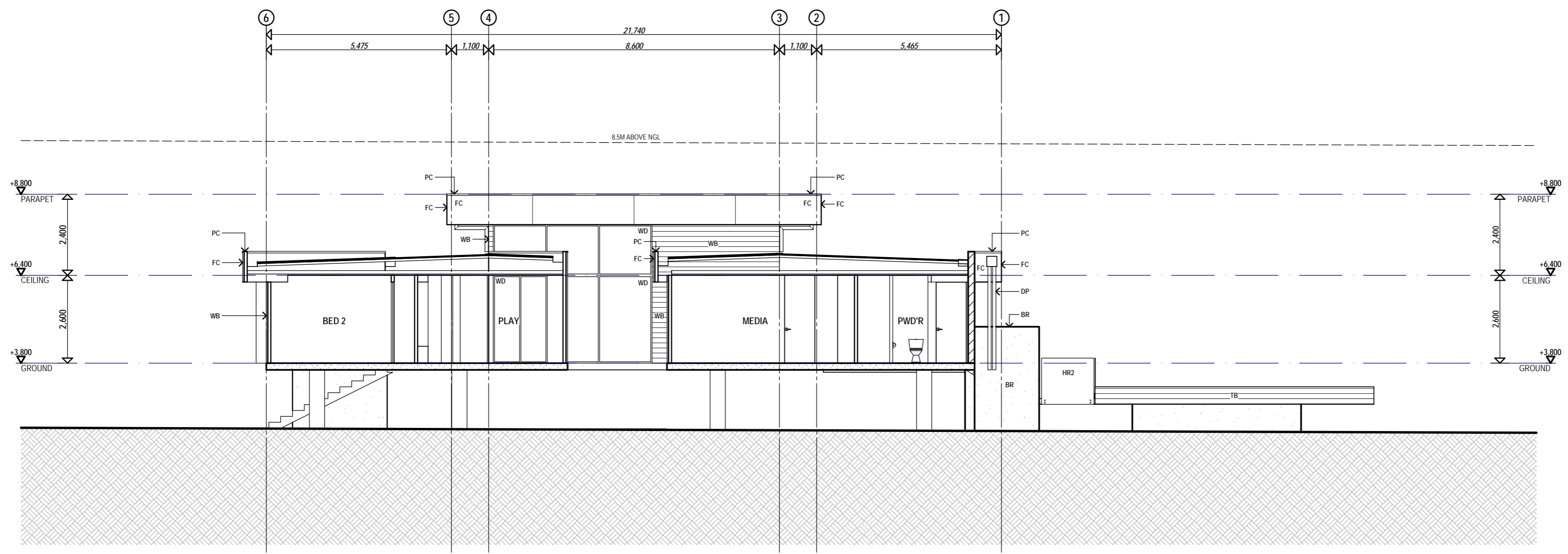
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Project Number		Drawing Number	Rev
R0101	A204		1:100

NOTES
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 REFER TO ELEVATED DOOR AND WINDOW SCHEDULE FOR FURTHER DETAIL

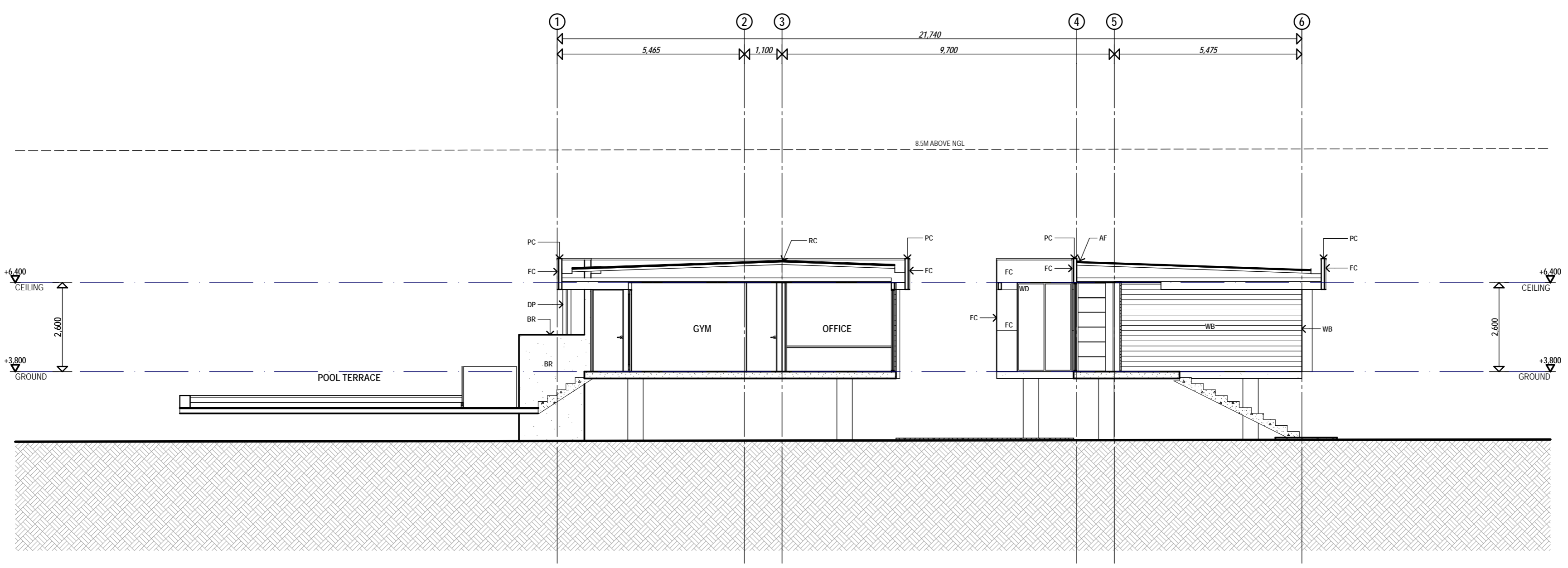
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 - WD WINDOWDOOR - POWDERCOAT ALUM.



I SECTION
 1:100



J SECTION
 1:100

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R. No.	Description	Date	App'd
			

40 PO BOX 887 SOUTH BRISBANE QLD 4108 AUSTRALIA
 P 07 3397 9111 F 07 3397 9144
 E info@monsterideas.com.au

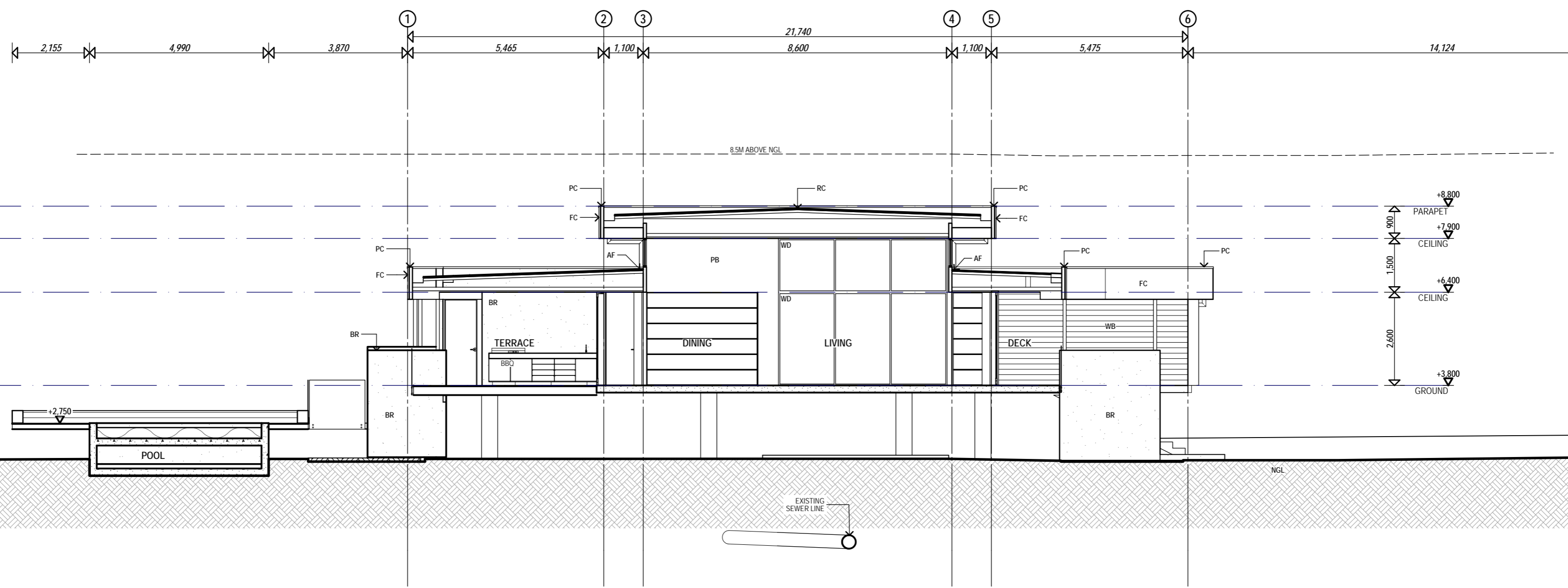
Project
BERSON HOUSE
 BARWON ST
 Drawing
SECTION I & J

Drawn	Project Number	Drawing Number	Approved	Scale
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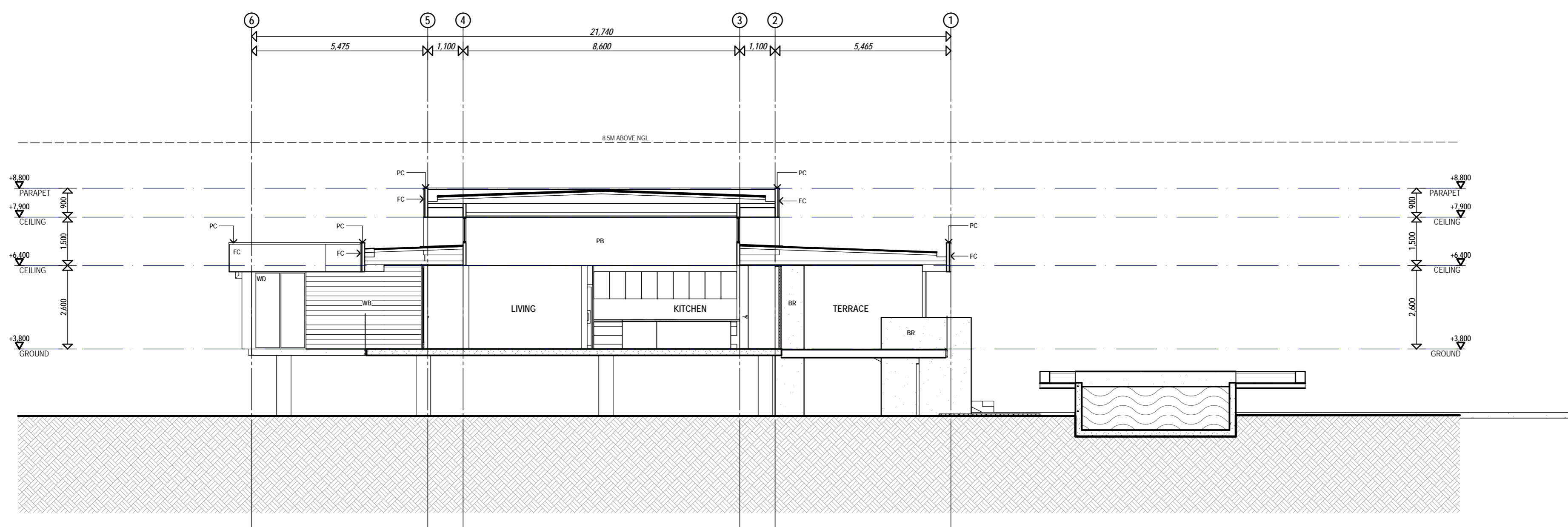
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K SECTION
 1:100



L SECTION
 1:100

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R. No.	Description	Date	App'd
			

Project
 BERSON HOUSE
 BARWON ST
 Drawing
 SECTION K & L

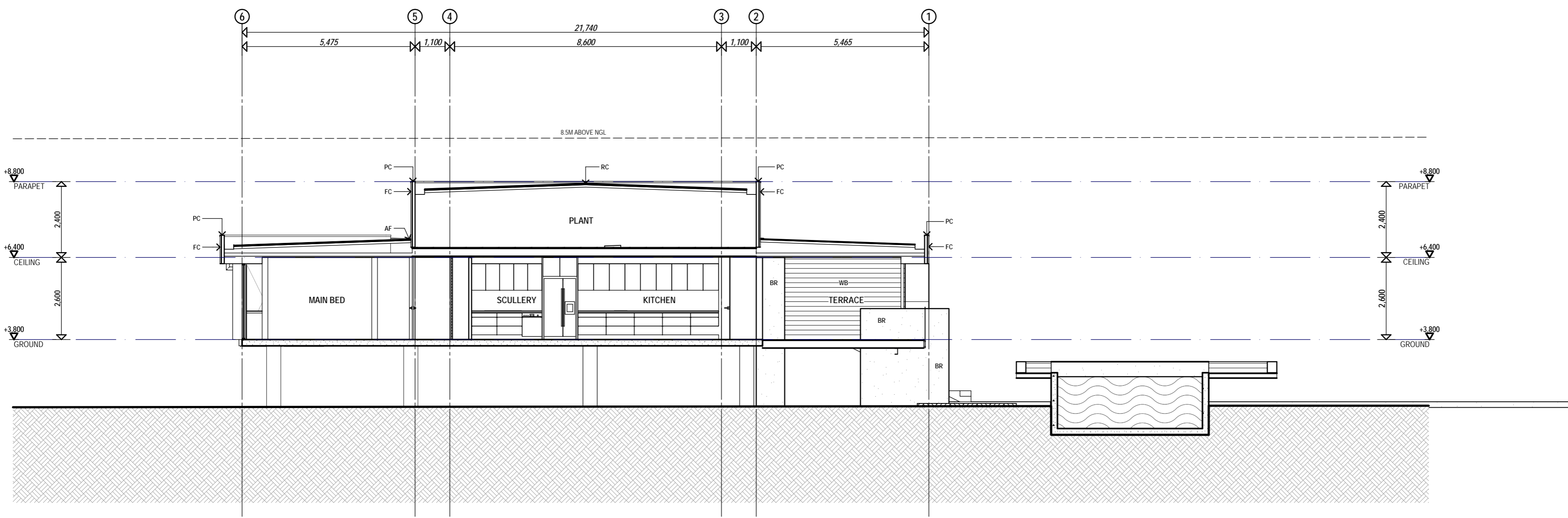
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Rev		Scale	1:100

WORKING DRAWINGS
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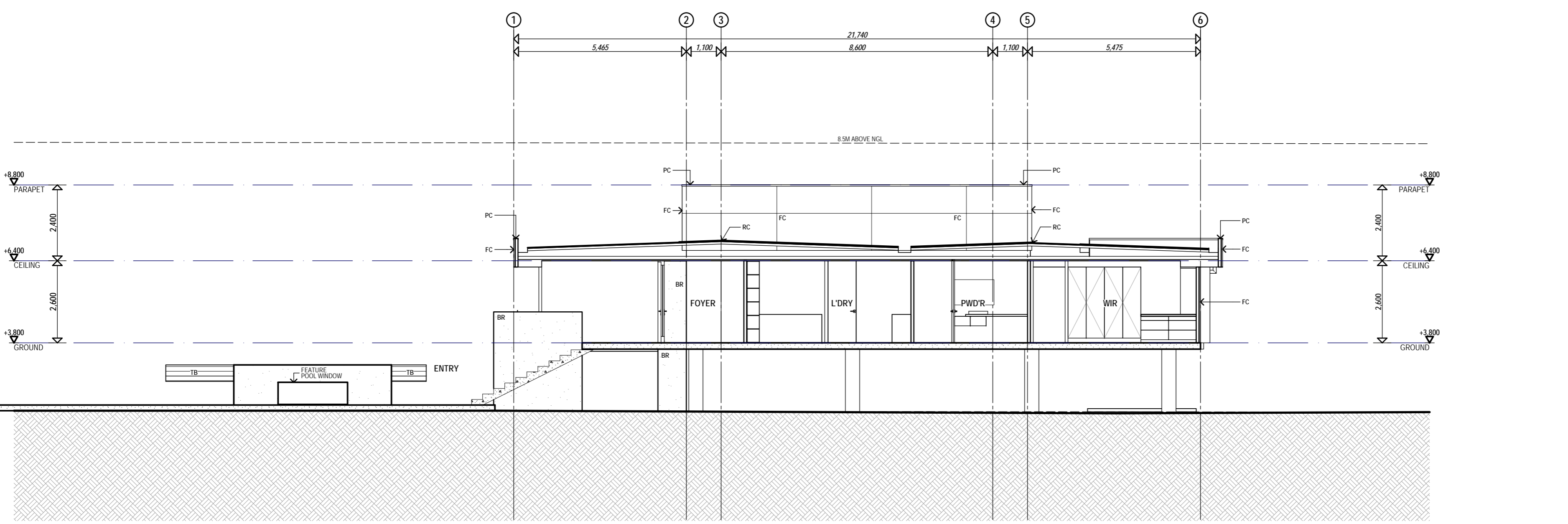
NOTES
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M SECTION
1:100



N SECTION
1:100

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R. No.	Description	Date	App'd

Project
 BERSON HOUSE
 BARWON ST
 Drawing
 SECTION M & N

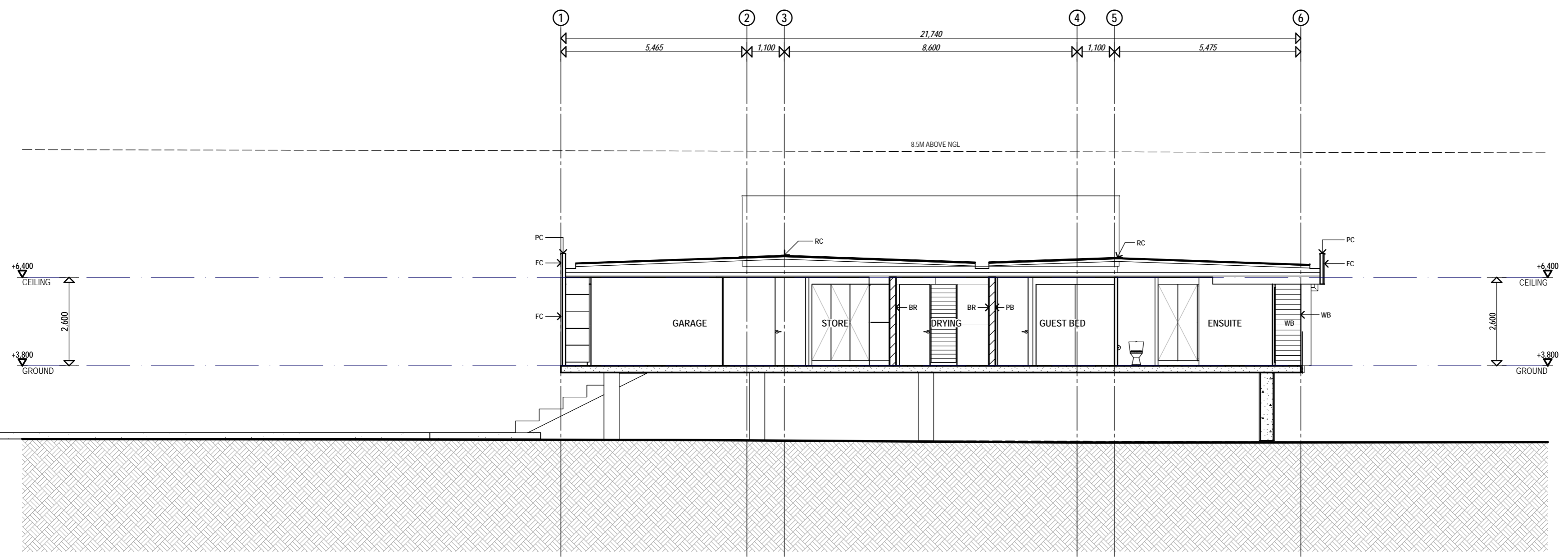
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Project Number	R0101	Drawing Number	A207
Rev	1	Scale	1:100

GENERAL NOTES

NOTES
 REFER STRUCTURAL ENGINEERING DRAWINGS FOR FOUNDATION, ROOF AND FLOOR STRUCTURE REQUIREMENTS
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 TP PAINTED TIMBER PALING FENCE
 WB HORIZONTAL STRIP BOARD CLADDING
 WD WINDOWDOOR - POWDERCOAT ALUM.



SECTION 0
 1:100

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R. No.	Description	Date	App'd
			

Project: BERSON HOUSE BARWON ST
 Drawing: SECTION 0

Drawn	MM	Approved	CW
Project Number	R0101	Drawing Number	A208
Rev		Scale	1:100

GENERAL NOTES

WINDOW MANUFACTURER TO INSTALL GLAZING AS PER BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.

REFER SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO MANUFACTURE.

THE WIND CATEGORY DETERMINED FOR THIS SITE IS N3 IN ACCORDANCE WITH AS4055 & AS 1170.2

ALUMINIUM FRAMES TO BE HAVE POWDERCOAT FINISH FROM THE DULUX PRECIOUS PEARL POWDER-COAT RANGE - Final colour to be advised

ALUMINIUM FRAMES TO BE PROVIDED BY VANTAGE ALUMINIUM JOINERY OR SIMILAR APPROVED MANUFACTURER USING THEIR STANDARD FRAMING RANGES AND PROFILES.

- square covers to be utilised in lieu of sloping where applicable
- square beads to hold the glass in - colour matched hardware (not black standard)
- sash handle and restrictor stays to awning sashes if used. (no winders)
- allow for security screening of windows where shown.

GENERAL GLAZING TO BE TINTED. INTERNAL GLAZING TO BE CLEAR. CONFIRM COLOUR WITH OWNER PRIOR TO MANUFACTURE.

GLAZING DESIGN TO BE IN ACCORDANCE WITH AS1288-1995 AND SATISFY THE REQUIRED WIND AND IMPACT LOADS FOR THIS LOCATION. ALLOW FOR SAFETY GLASS UNLESS OTHERWISE NOT REQUIRED

CHECK ON SITE OPENING SIZES TO RECEIVE NEW SLIDING DOOR ASSEMBLIES PRIOR TO PLACING ORDERS. THE SIZES INDICATED ARE NOMINAL AND REQUIRE CONFIRMATION.

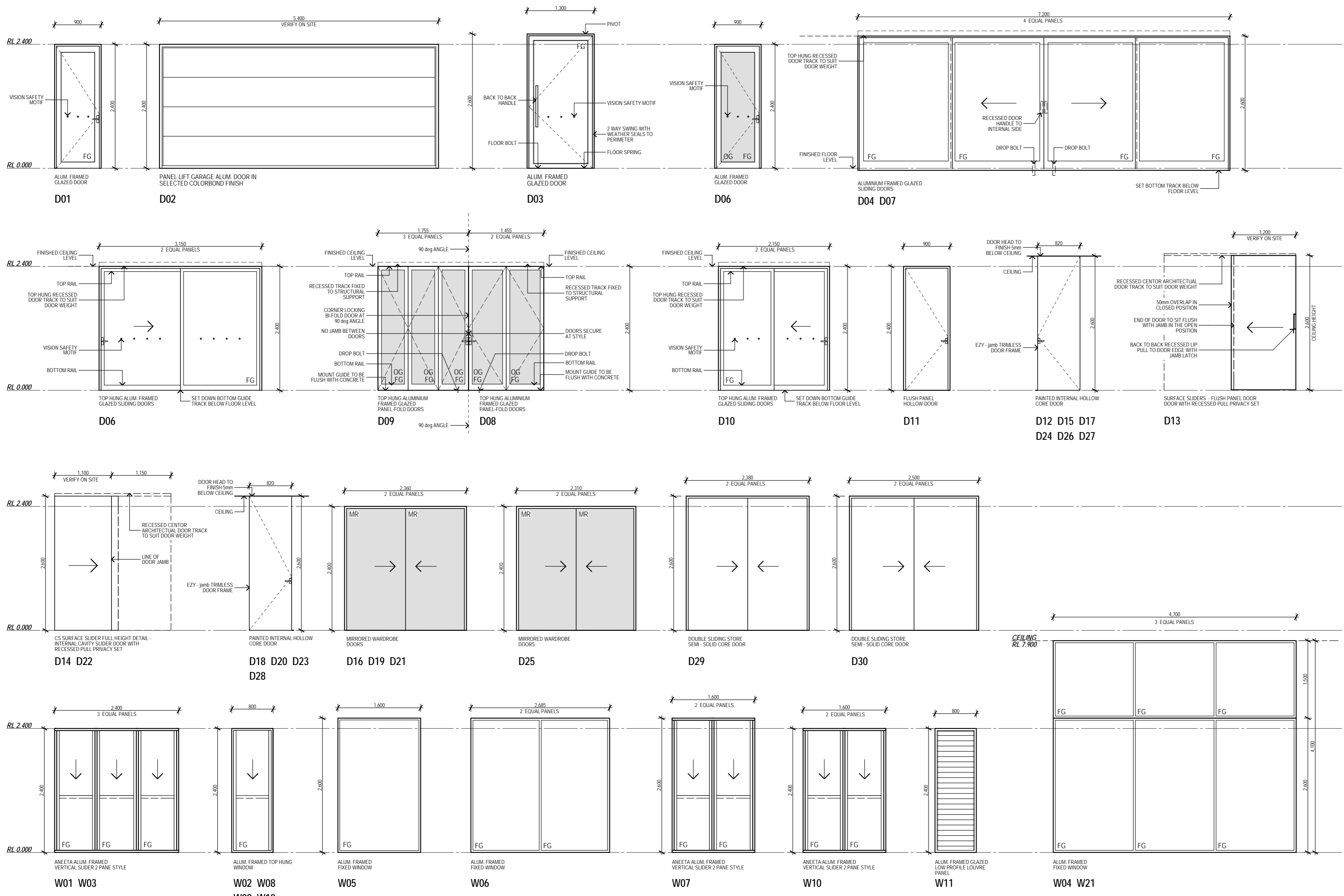
DESIGN OF VISION SAFETY MOTIFS TO BE NOMINATED FOR APPROVAL BY OWNER PRIOR TO MANUFACTURE. ALLOW FOR CHROME PLATED DISCS ADHERED TO EITHER SIDE OF GLAZING AS SHOWN

PROVIDE WINDOW LOCKS TO OPENABLE WINDOWS. PROVIDE LOCKS (DEADLOCKS WHERE APPLICABLE) TO EXTERNAL DOORS.

PRIVACY LOCKS TO BE PROVIDED TO WET AREA DOORS AND BEDROOM DOORS. DOOR HARDWARE TO BE FINISHED BRUSHED STAINLESS STEEL.

DESIGN AND LOCATION OF FLY/SECURITY SCREENS TO BE NOMINATED FOR APPROVAL BY OWNER PRIOR TO MANUFACTURE.

FG FIXED GLASS
OG OPAQUE GLASS
SL SELECT LAMINATE GLASS



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R. No.	Description	Date	App'd

monster ideas architects
 10/100 BIRCH ST, SOUTH BRISBANE QLD 4101 AUSTRALIA
 P: 07 3391 9911 F: 07 3391 9944 E: info@monsterideas.com.au

Project: **BERSON HOUSE BARWON ST**
 Drawing: **DOOR & WINDOW SCHEDULE**

Drawn	Project Number	MM	Drawing Number	Approved	CVW

R0101 A301 1:50
 WORKING DRAWINGS
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WINDOW MANUFACTURER TO INSTALL GLAZING AS PER BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.

REFER SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO MANUFACTURE

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GLAZING DESIGN TO BE IN ACCORDANCE WITH AS1288-1995 AND SATISFY THE REQUIRED WIND AND IMPACT LOADS FOR THIS LOCATION. ALLOW FOR SAFETY GLASS UNLESS OTHERWISE NOT REQUIRED

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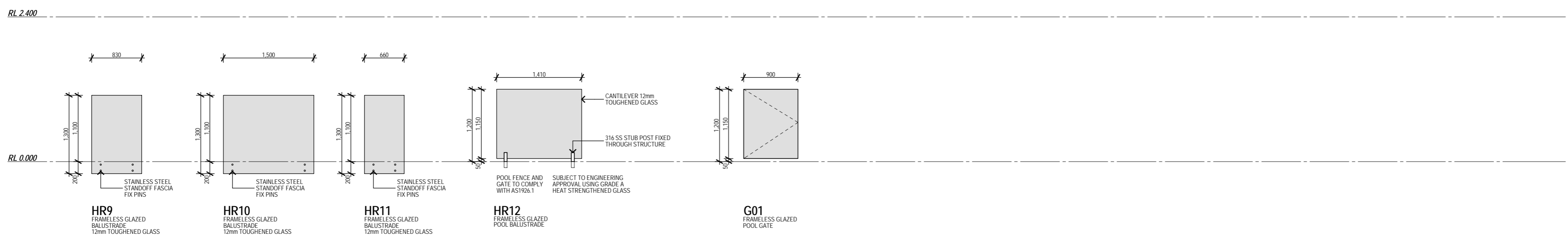
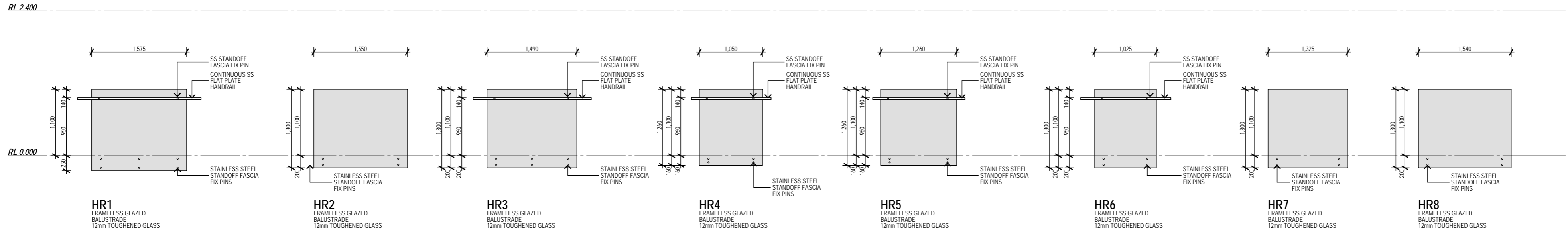
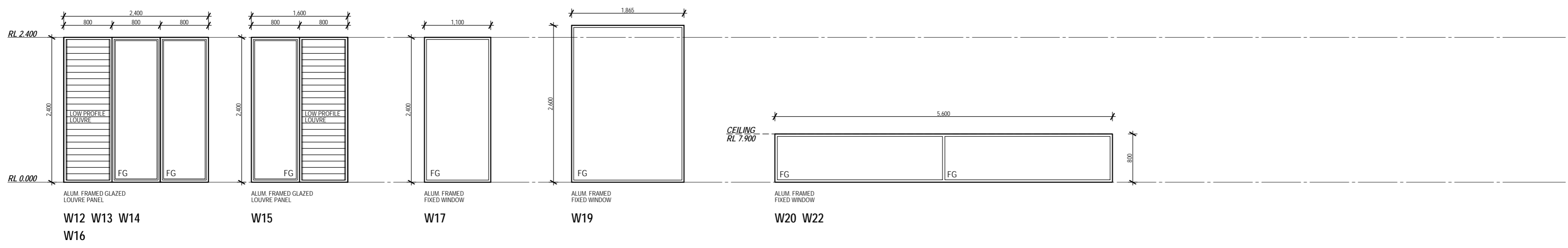
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FG FIXED GLASS
OG OPAQUE GLASS
SL SELECT LAMINATE GLASS



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R No.	Description	Date	App'd
			

Project
BERSON HOUSE
BARWON ST

Drawing
WINDOW & HANDRAIL SCHEDULE

Drawn	MM	Approved	CW
Project Number	R0101	Drawing Number	A302
		Rev	1:50
WORKING DRAWINGS			
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